

The Lodge

AT MOUNTAINEER SQUARE

WORKBOOK



ARTIST'S RENDERING OF MOUNTAINEER SQUARE

DISCOVER MOUNTAINEER SQUARE



Experience a true Colorado classic.

Welcome to Crested Butte, the last great Colorado ski town, on the edge of the Rockies frontier. This is a place where the towers are rock, not concrete, where following the herd means hiking after elk. Slippery slopes are covered in snow, the carpets are woven of wildflowers and the daily grind is a wonderful (locally roasted) Café Americano in a resort town so authentic and full of character you can feel it.

Introducing The Lodge at Mountaineer Square.

Just steps away from the lifts, these mountain residences are ideally situated to give you the full benefit of the incredible views, the village amenities and of course, the fabulous slopes.

The natural and rustic elegance of The Lodge at Mountaineer Square is designed to complement the Crested Butte landscape and fit the style of your life.

This workbook is your guide to these exceptional luxury residences in the heart of Mountaineer Square, created to assist you in selecting the perfect mountain home for your family. The following pages introduce all the features of The Lodge, including site plan, architectural elevations, amenities, and floor plans.

Examine this book in a quiet place with pen in hand. Imagine the space. Picture yourself in your new home.

Make notes. It's a good idea to choose several different options for the homes that feel right for you, so that when the time comes, you have alternatives. Whichever way you go, we think you'll like it here.

MOUNTAINEER SQUARE SOUTH



CIMARRON


AT MOUNTAINEER SQUARE

The Lodges

AT MOUNTAINEER SQUARE



MOUNTAINEER
SQUARE

N  Conceptual rendering subject to change.

FEATURES AND AMENITIES



Expect the warmest of welcomes at The Lodge at Mountaineer Square. Your family and guests are sure to appreciate rustic touches, like the grand stone fireplace in the lobby, or modern conveniences, like individually climate-controlled residences and snow melting technology throughout the village.

BUILDING FEATURES

- Covered porte cochère entry to protect you from the elements when you arrive
- Snowmelt system to keep walkways free of ice and snow
- Heated underground parking with controlled access
- Exterior architecture designed in homage to the mining, ranching and railroad history of the area
- Lodge features a natural stone base in keeping with the mountain setting
- Enhanced soundproofing built right into each residence at the construction stage
- Lobby with seating lounge and great fireplace lined with stone greets you upon your arrival
- Fully-equipped fitness room with lockers, sauna, showers and change areas
- Outdoor oversized hot tub and pool with mountain views
- Custom finished elevators for quick access between floors
- Various state-of-the-art conference and meeting facilities totalling more than 15,000 sq. ft.
- Mt. Crested Butte Transit Center

INTERIOR HIGHLIGHTS

- Fully-furnished homes (including kitchen essentials and linens)
- Stone tile entryways
- In-residence climate control
- Fully equipped kitchens or kitchenettes
- Polished granite slab counters
- Generous islands with counter seating
- Gas fireplace featuring stone accents
- Master suite(s) with beautiful master baths featuring deep-soaking tubs, tile counters and floors
- Luxurious living area with entertainment center and queen-size sleeper sofa
- Television with DVD in living area
- Television in each bedroom
- Cable/data hook-ups
- Balconies (majority of residences)
- Washer and dryer

In a continuing effort to improve home design, the developer reserves the right to change floor plans, elevations, specifications, features, finishes and pricing without prior notice or obligation. All maps, plans, landscaping, elevations and renderings are artist's conceptions and are not to scale.

ELEVATIONS

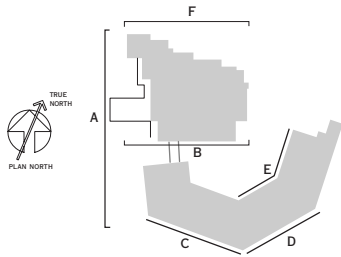
The Lodge
AT MOUNTAINEER SQUARE



**WEST ELEVATION: MAIN ENTRANCE
VIEW A**



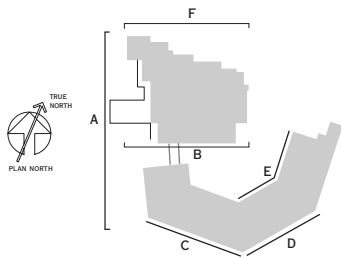
**SOUTH ELEVATION: STAIRWAY TO COURTYARD
VIEW B**



ELEVATIONS



**SOUTH ELEVATION
VIEW C**



**SOUTH EAST ELEVATION: WALKWAY TO COURTYARD FROM SKI LIFT
VIEW D**

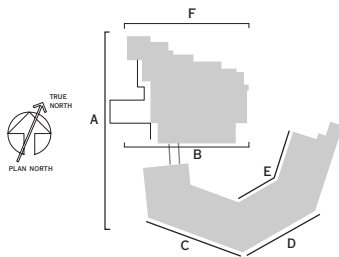
ELEVATIONS



**NORTH ELEVATION: WALKWAY FROM COURTYARD TO SKI LIFT
VIEW E**



**NORTH ELEVATION: TRANSIT LOOP
VIEW F**



FLOOR PLATES



SHADED AREAS INDICATE LOCATION OF BUILDINGS ABOVE.

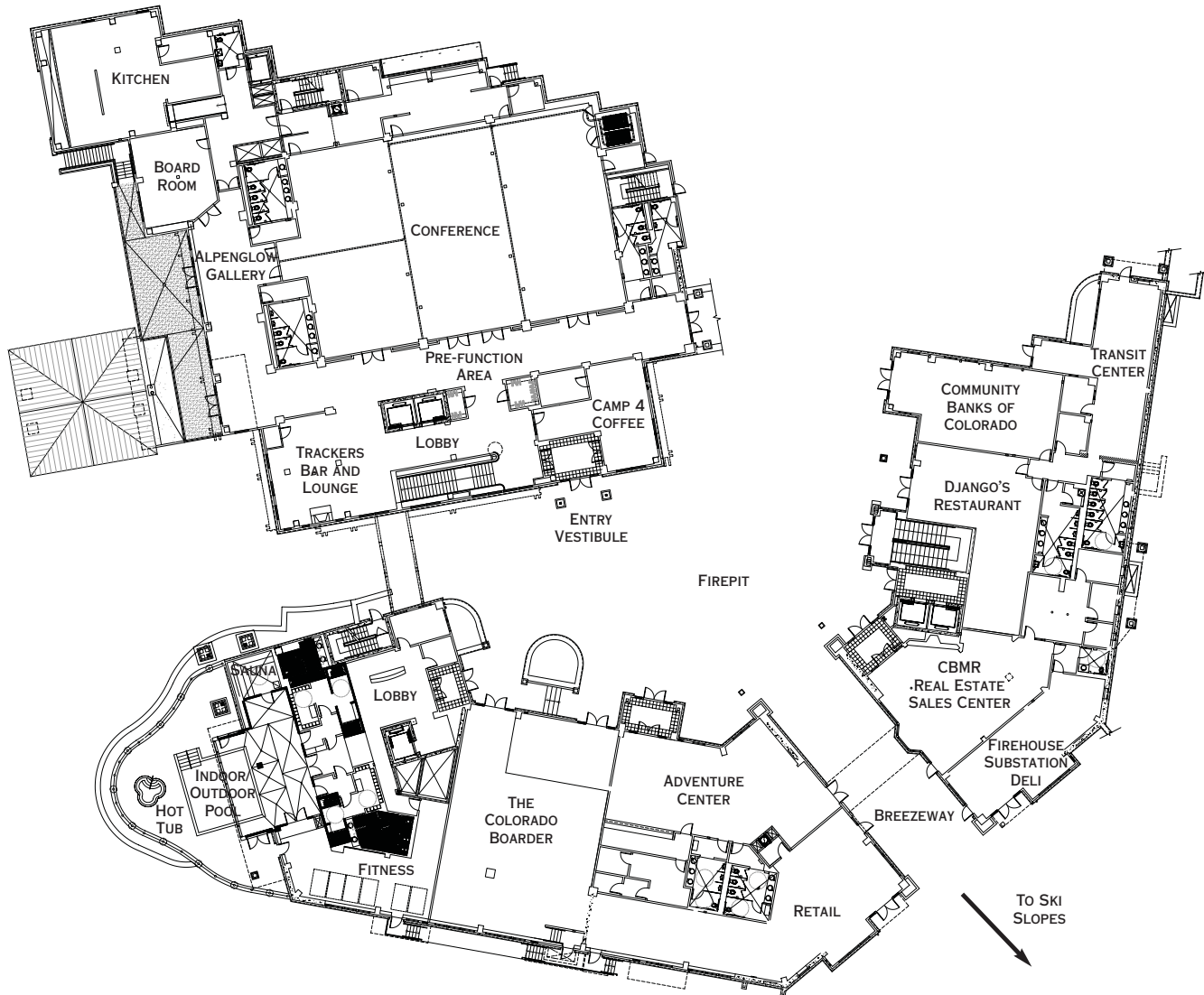
CONNECTS TO CIMARRON

TRUE NORTH
PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Garage

FLOOR PLATES

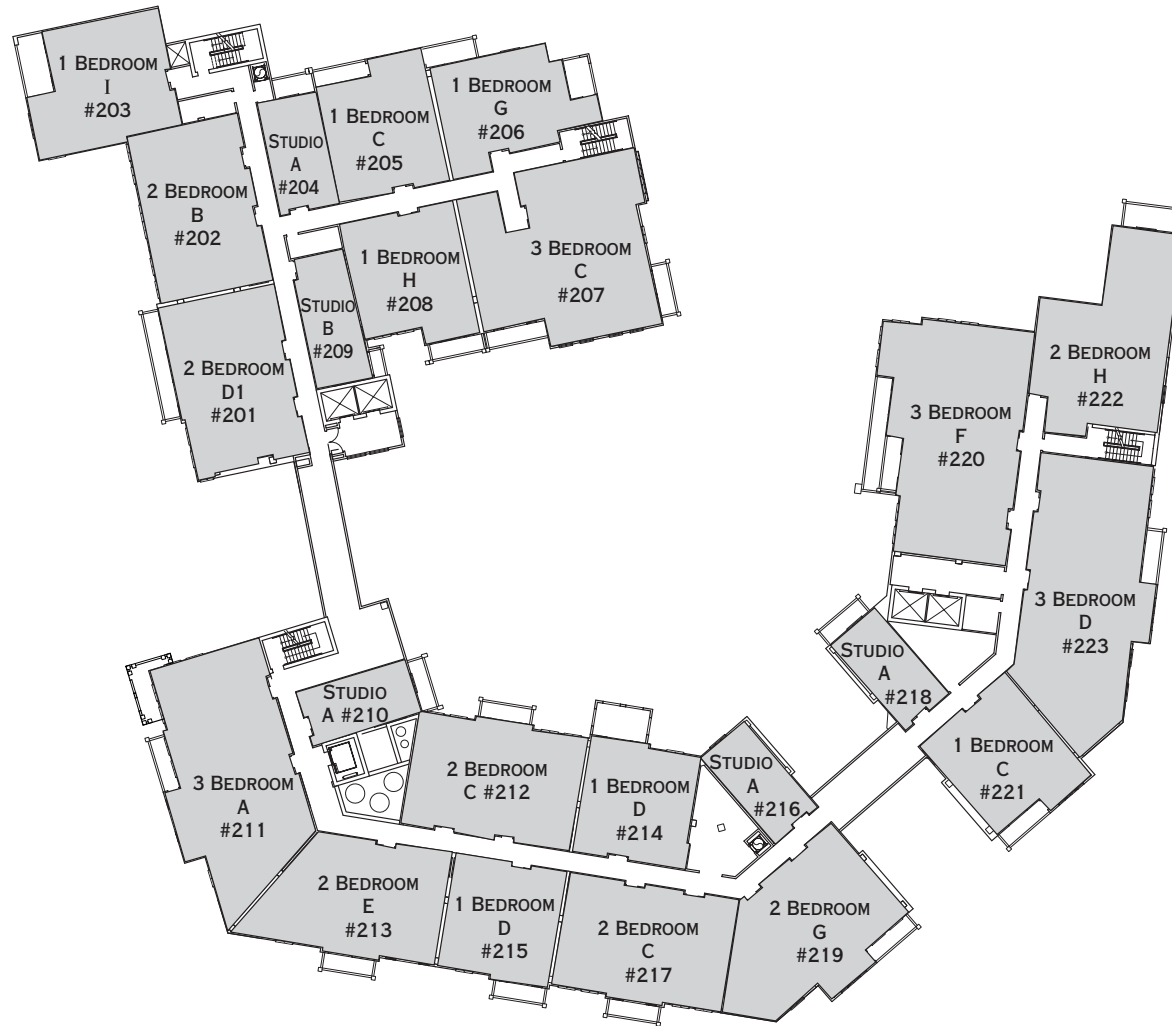


TRUE NORTH
PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Courtyard

FLOOR PLATES



PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Second Floor

FLOOR PLATES



PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Third Floor

FLOOR PLATES



PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Fourth Floor

FLOOR PLATES



TRUE
NORTH

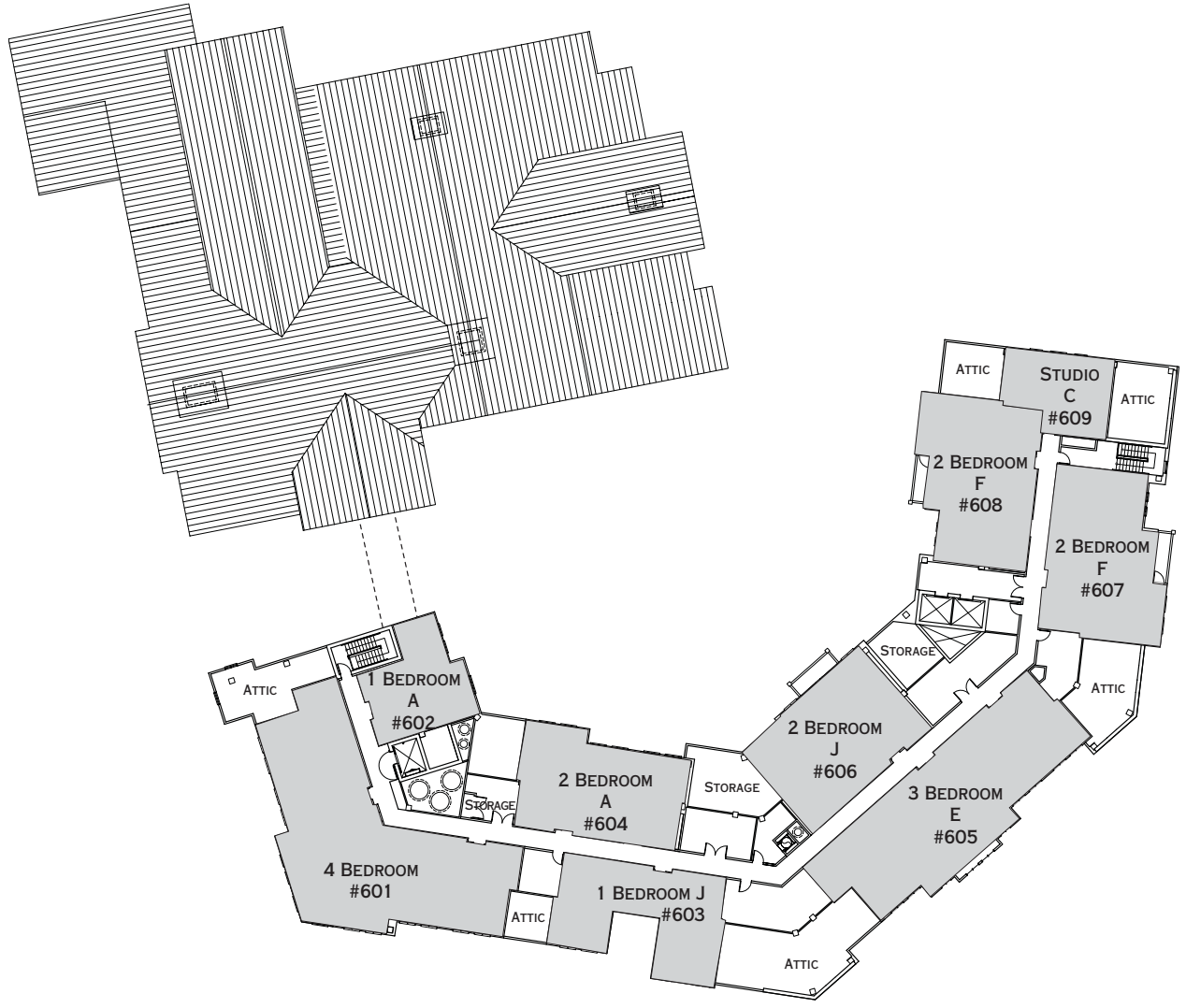


PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Fifth Floor

FLOOR PLATES



TRUE
NORTH

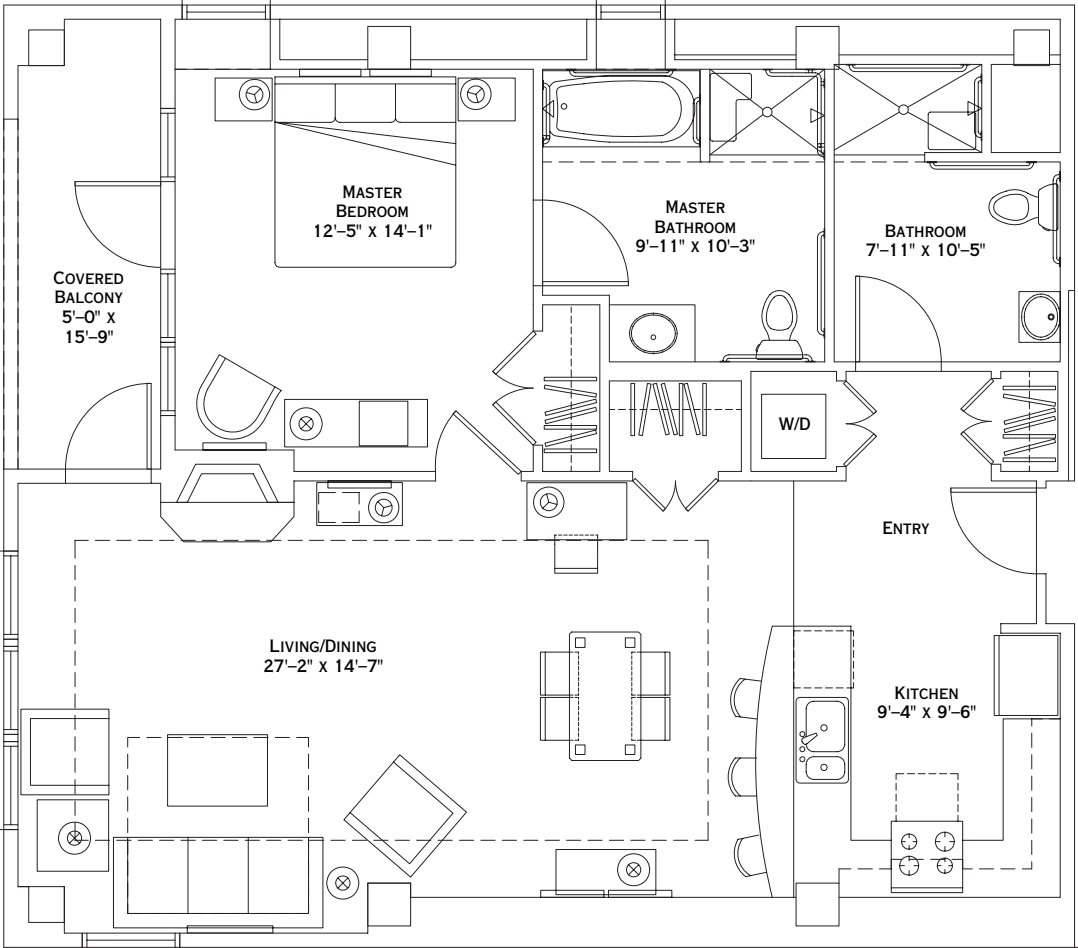
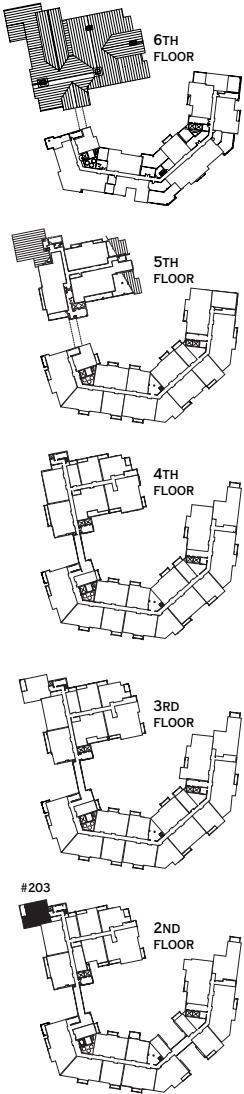


PLAN NORTH

The developer reserves the right to make changes and modifications to these plans.

Sixth Floor

FLOOR PLANS



The developer reserves the right to make changes and modifications to these homes.

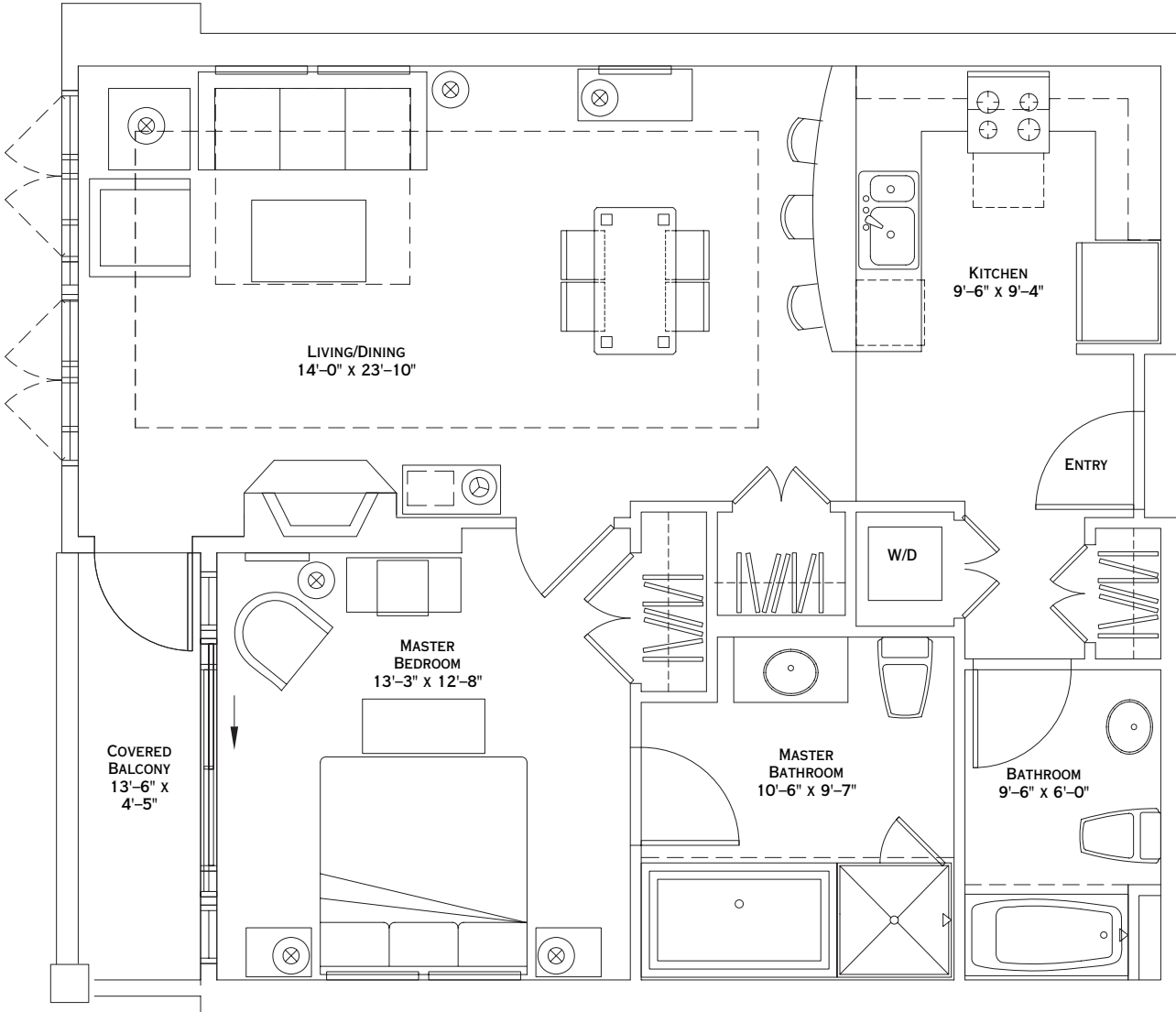
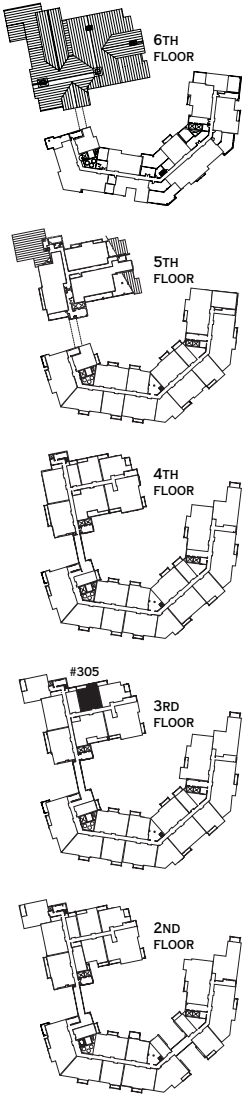


One Bedroom I
1,125 sq. ft.

Location: #203

FLOOR PLANS

The Lodges
AT MOUNTAINEER SQUARE



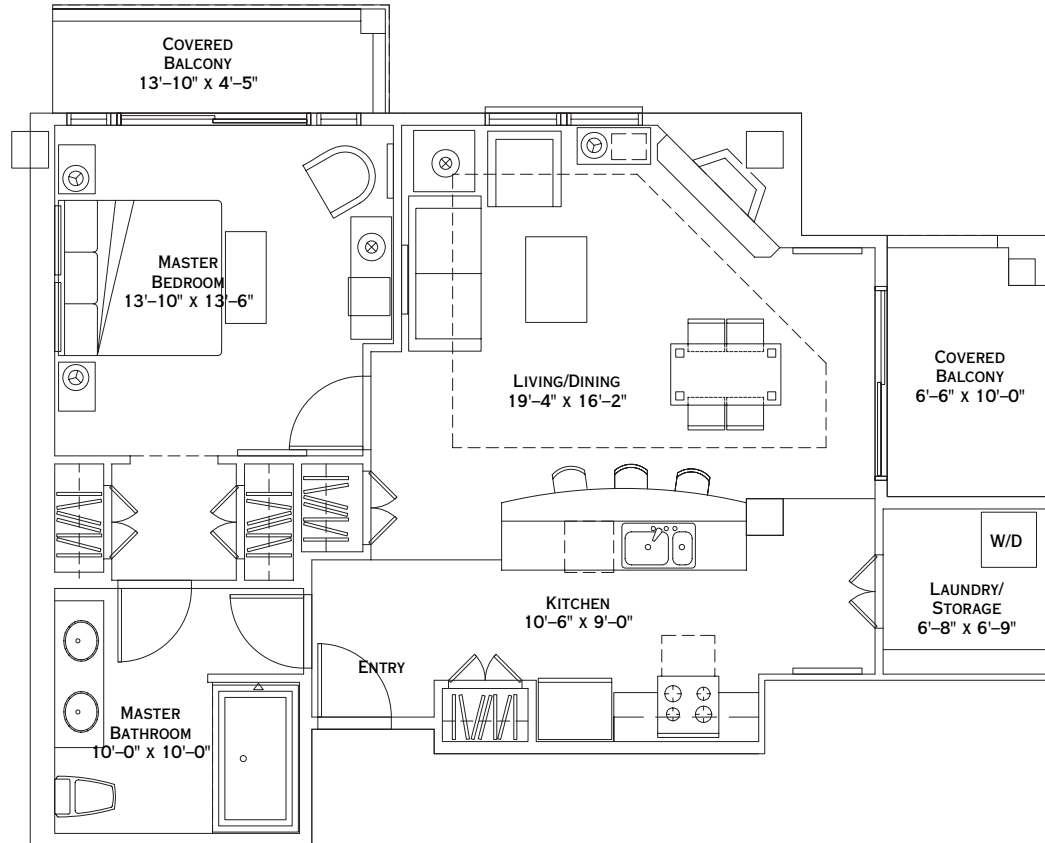
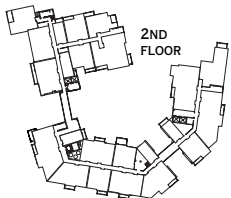
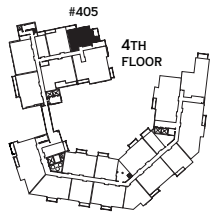
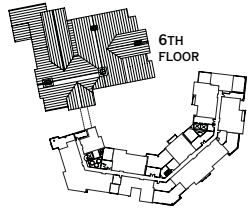
The developer reserves the right to make changes and modifications to these homes.



One Bedroom C
963 sq. ft.

Location: #305

FLOOR PLANS

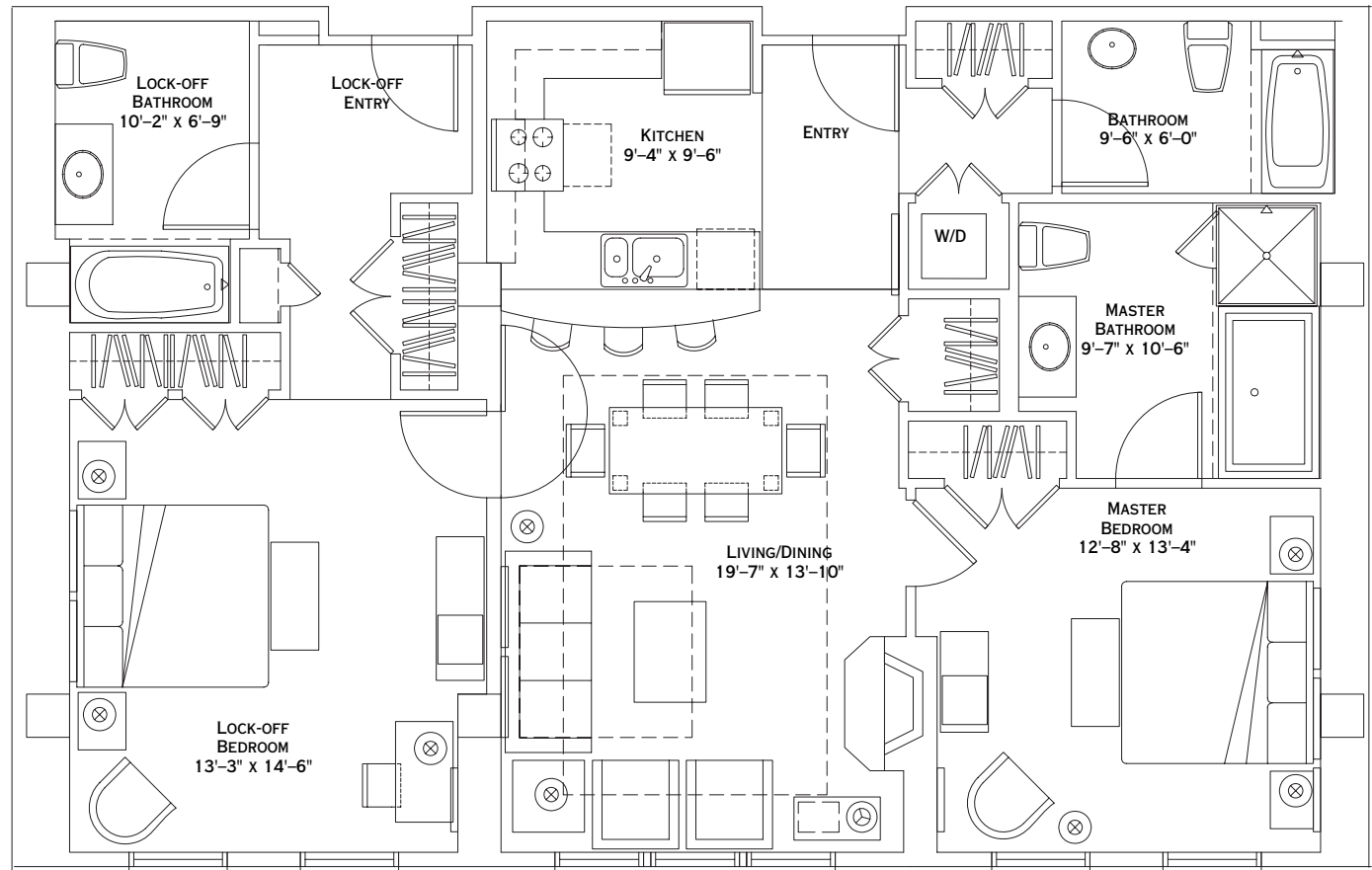
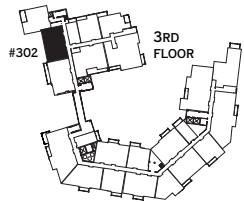
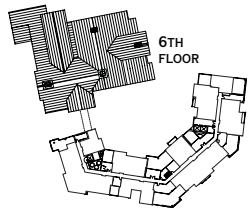


One Bedroom G
967 sq. ft.

The developer reserves the right to make changes and modifications to these homes.

Location: #405

FLOOR PLANS

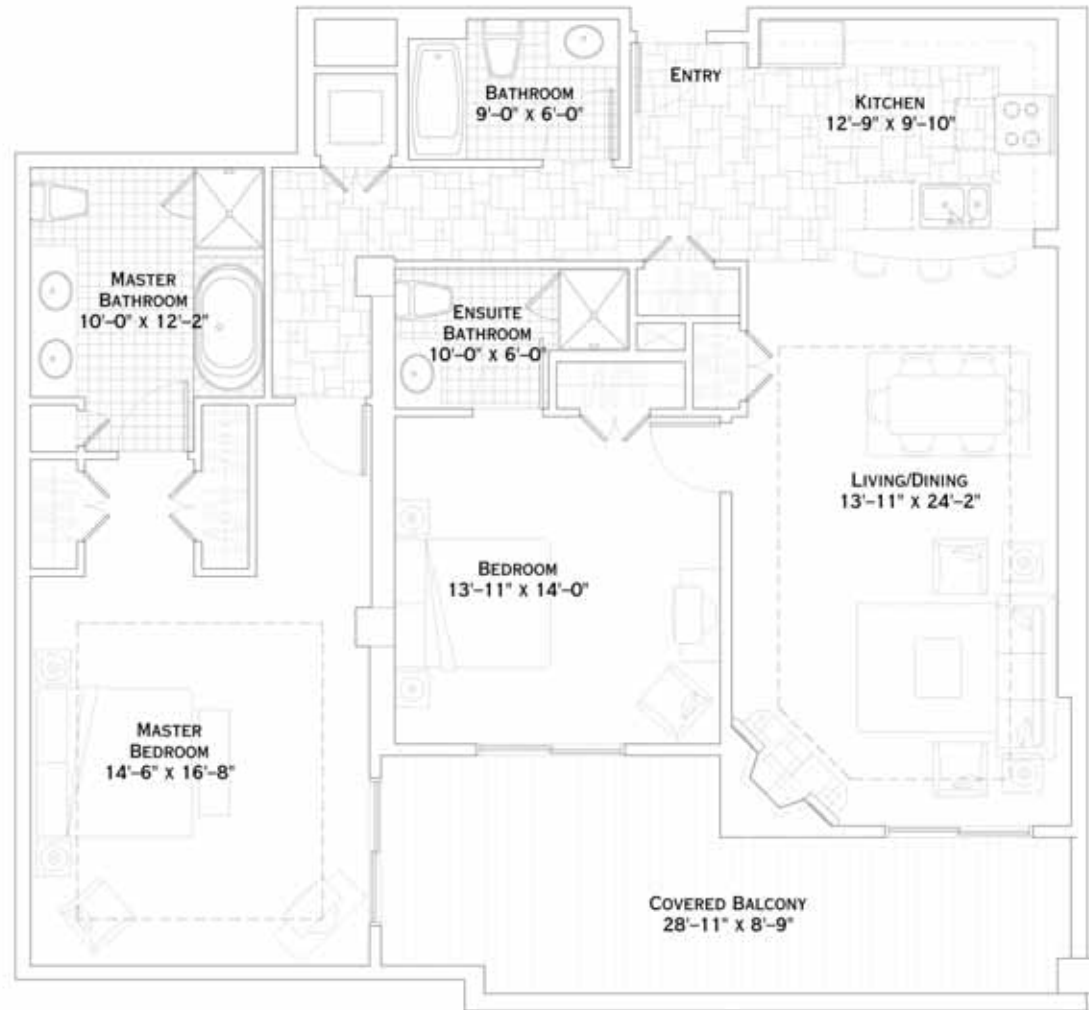


The developer reserves the right to make changes and modifications to these homes.

Two Bedroom B
1,331 sq. ft. – with lock-off

Location: #302

FLOOR PLANS



Two Bedroom I
1,562 sq. ft.

The developer reserves the right to make changes and modifications to these homes.

Locations: #308

MOUNTAINEER SQUARE DEVELOPMENT TEAM



TIM AND DIANE MUELLER: *Developers and Owners*

Crested Butte is the latest jewel in a portfolio of resort developments privately owned and operated by the dynamic husband and wife team of Tim and Diane Mueller. Widely respected throughout the American ski industry, the Muellers' first project involved the successful transformation of Vermont's Okemo Mountain Resort into one of the top ski resorts in the east. Their winning ways continued with Sapphire Beach Resort and Marina on the island of St. Thomas as well as the successful redevelopments of both Mt. Sunapee in New Hampshire and Catamount at Steamboat.

Tim and Diane bring a refreshing hands-on style of management to Crested Butte Mountain Resort: emphasizing superior guest service and uncompromised quality across the board. Their long-term vision is to vault Crested Butte into the top rank of North American ski resorts, not by being the biggest – but by being one of the best. As president and CEO of their company, Triple Peaks, Tim Mueller oversees the direction, vision and financial health of the resort, while Diane focuses on "softer" aspects, like guest services, human resources and aesthetics. Triple Peaks is truly a family-run operation, with son Ethan stepping into the role of Director of Operations for Crested Butte, where he now resides full-time.

As a family, the Muellers are linked by their love for the great outdoors. Tim is an avid skier, duck hunter, bow hunter and fisherman, as well as an American history buff. His energetic wife, Diane, is also a skier, sailor and marathon runner with an impressive background in fine arts and education. Their son, Ethan, is the Alpine specialist of the clan, with his favorite sports including snowboarding, skiing, hunting, fishing and mountain biking. No wonder they already feel right at home at Crested Butte.

HASELDEN CONSTRUCTION: *Builders*

Haselden Construction is a respected builder in the Colorado market with a long history of building in Colorado mountain communities. The company was established in 1973 and is headquartered in Centennial, a suburb of Denver. Ranked in the top 5 in Colorado and top 400 nationally, the firm builds a diverse range of project types, including resorts and condominiums.

BSA ARCHITECTS: *Architects*

Bull Stockwell Allen is recognized internationally as a leader in mountain resort architecture and snow country design solutions and detailing. For over 37 years, they have designed signature villages and mountain resort projects in many of North America's premier high country resorts, including Whistler, Beaver Creek, Okemo, Stowe, Squaw Valley, Keystone, Park City and Jackson Hole's Teton Village. The firm's founder, Henrik Bull, FAIA, and design principal John Ashworth, AIA, have created a signature design statement for Mt. Crested Butte that draws on indigenous forms and local materials. BSA seeks to create timeless architecture that both embraces and enhances the outdoor environment.

STIBLER ASSOCIATES, LLC: *Interior Designers*

Stibler Associates is a space planning and interior design firm recognized nationally for creating exceptional environments for major corporate, hospitality and health care clients.

Located in Manchester, New Hampshire, Stibler Associates is a frequent contributor to various professional journals, and is active in the American Society of Interior Designers, International Interior Design Association and the American Institute of Architects/NH.

Recent hospitality projects include a private mountain club in Vermont, several New England country clubs, inns and conference centers, as well as Jackson Gore II at Okemo Mountain Resort, Vermont.